

# INFORMAL CONTRACT

## NOTICE TO BIDDERS

### JUSTICE BUILDING BUILDING ENVELOPE REPAIRS

CODE: 40601; ITEM: 4G03; SCO ID# 060900001

#### SCOPE OF WORK:

Work under this contract consists of furnishing all labor, materials, and equipments necessary to perform the specified building repairs.

#### NOTICE TO BIDDERS:

Sealed proposals for this work will be received by:

Mr. Dalton Holmes  
NC Department of Administration  
310 N. Wilmington Street, Suite 450  
Raleigh, NC 27601  
Office: 919-807-4133

up to **3:00 p.m. on Thursday, July 17th** and immediately thereafter publicly opened and read aloud. Complete electronic plans and specification and contract documents can be obtained from:

Rooftop Systems Engineers, P.C.  
316 West Millbrook Road; Suite 201  
Raleigh, NC 27609  
Office: 919-872-7866

Contractors are hereby notified that they must have proper license under the State laws governing their respective trades and that North Carolina General Statute 87 will be observed in receiving and awarding contracts.

A pre-bid meeting will be held at the facility at 2 E. Morgan Street, Raleigh, NC, at **10:00 a.m. on Thursday, June 26, 2014.**

No bid may be withdrawn after the opening of bids for a period of 30 days. The Owner reserves the right to reject any or all bids and waive informalities. Proposals shall be made only on the form provided herein with all blank spaces for bids properly filled in and all signatures properly executed. Please note on the envelope:

#### BID PROPOSAL

ATTN: Mr. Dalton Holmes  
NC Department of Administration  
310 N. Wilmington Street, Suite 450  
Raleigh, NC 27601  
Office: 919-807-4133

**BID DATE: JULY 17<sup>TH</sup> AT 3:00 P.M.**

CONTRACTOR NAME & LICENSE NUMBER

**DIVISION 1  
GENERAL REQUIREMENTS  
SECTION 01010  
SUMMARY OF WORK**

**PART 1 GENERAL**

- 1.1 Drawings and general provisions of the contract, including General, Supplemental and Special Conditions and other Division 1 specification sections apply to work of this section.
- 1.2 Work Covered by Contract Documents - Work under this contract consists of furnishing all labor, materials, and equipments necessary to perform the specified building repairs as shown on the roof plans.
- 1.3 Proposed building repairs:
  - 1.3.1 Install two sump pumps, discharge piping and electrical service.
  - 1.3.2 Waterproof the sides and bases of the two fifth floor window wells.
    - 1.3.2.1 Remove the copper counterflashing.
    - 1.3.2.2 Reconstruct the stone-to-stone and stone-to-metal joints with backer rod and sealant.
    - 1.3.2.3 Apply a coating to the interior faces of the window wells
  - 1.3.3 Tuckpoint the masonry joints in the east and west walls of Penthouses "A" and "B".
  - 1.3.4 Remove the stucco adjacent to two penthouse doors, reflash the perimeters of the two door frames, seal the voids below the thresholds, install new stucco and paint to match the adjacent wall areas.
- 1.4 Contract Method - Construct the work based on the lump sum items and unit priced items as shown on the Bid Form.
- 1.5 Work Sequence:
  - 1.5.1 Work shall proceed in a continuous and orderly manner. Phased construction is unacceptable.
  - 1.5.2 The Contractor shall strive to minimize disruption to the building operations and occupancy during remedial roofing activities and shall identify any proposed disruptions prior to bidding and shall list them on the bid form.
- 1.6 Contractor Use of Premises:
  - 1.6.1 Contractor access is limited to Monday through Friday, from 8:00 a.m. to 5:00 p.m.

- 1.6.2 Contractor shall obtain any needed permits for use of the street and/or sidewalk at the front of the building.
- 1.6.3 Limit use of premises for construction operations to allow for Owner occupancy.
- 1.6.4 Coordinate use of premises under direction of the Owner.
- 1.6.5 The Contractor shall be held liable for any damages to the building, the building contents, or its occupancy resulting from work under this contract.
- 1.7 Owner Occupancy - Owner will occupy premises during entire period of construction to conduct his normal operations. Cooperate with Owner to minimize conflict, and to facilitate Owner's operations.
- 1.8 Coordination:
  - 1.8.1 Coordinate work of the various sections of specifications to assure efficient and orderly sequence of installation of materials.
  - 1.8.2 Coordinate work under this contract with other contract work relating to the same building/roof areas to assure efficient and orderly sequence of installation of materials.
- 1.9 Reference Standards:
  - 1.9.1 Products specified by association or trade standards, must comply to those standards, except when more rigid requirements are specified herein or are required by applicable codes.
  - 1.9.2 Should there be a discrepancy between the referenced standards and these contract documents, the latter shall govern unless written interpretation is obtained from the Owner. In any event, Owner and Designer shall have final approval over work.
  - 1.9.3 Should there be discrepancies among the referenced standards, the more stringent requirements shall govern.

**PART 2 PRODUCTS**  
Not Used

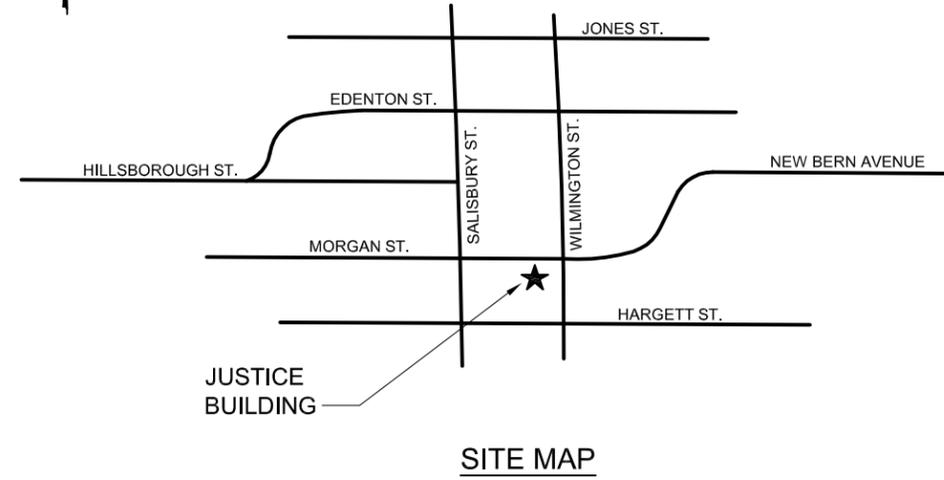
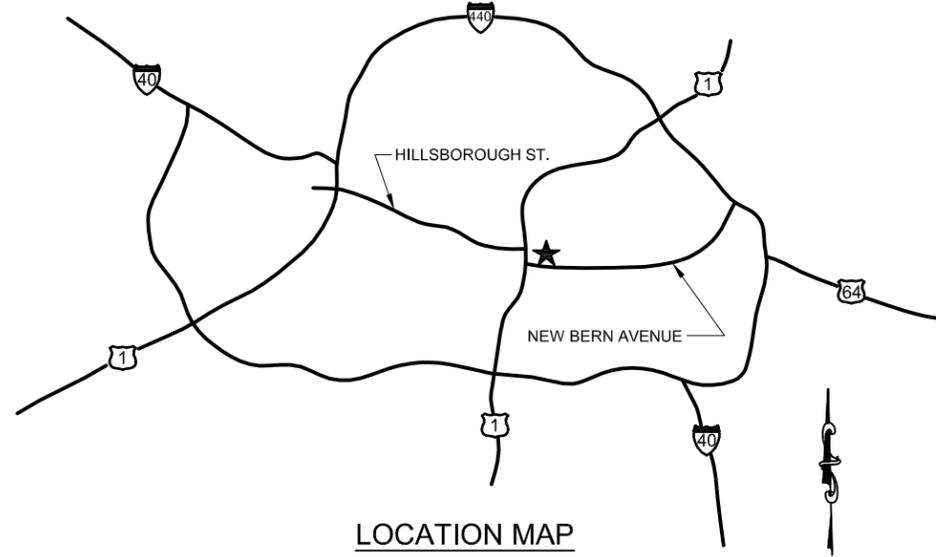
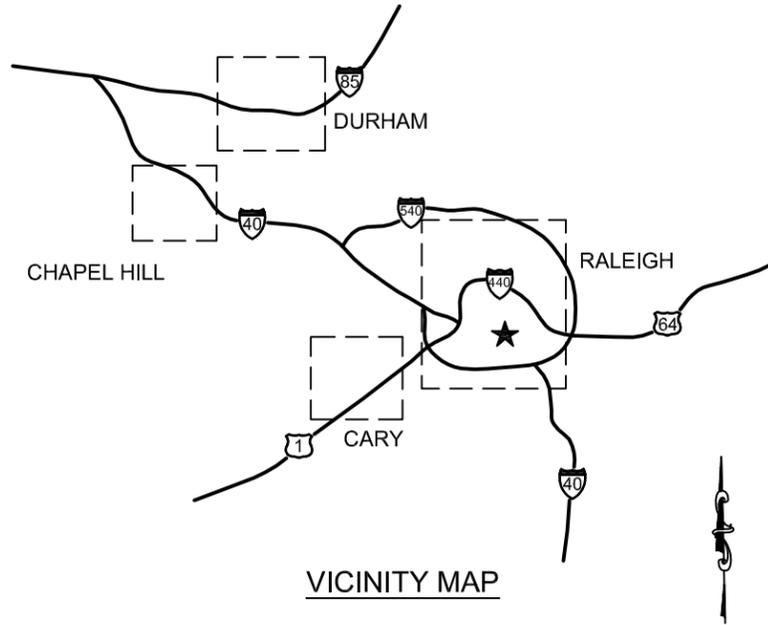
**PART 3 EXECUTION**  
Not Used

**END OF SECTION**

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# JUSTICE BUILDING BUILDING ENVELOPE LEAK INVESTIGATION

CODE: 40601; ITEM: 4G03; ID# 060900001



Cover Sheet

JUSTICE BUILDING  
BUILDING ENVELOPE LEAK INVESTIGATION  
RALEIGH, NORTH CAROLINA  
CODE: 40601; ITEM: 4G03; ID# 060900001

ROOFTOP SYSTEMS ENGINEERS, P.C.  
316 W. MILLBROOK ROAD, SUITE 201  
RALEIGH, NC 27609-4482  
NC License No. C-0807  
919-872-7866; 919-872-4486 fax  
www.rooftopsystemsengrs.com

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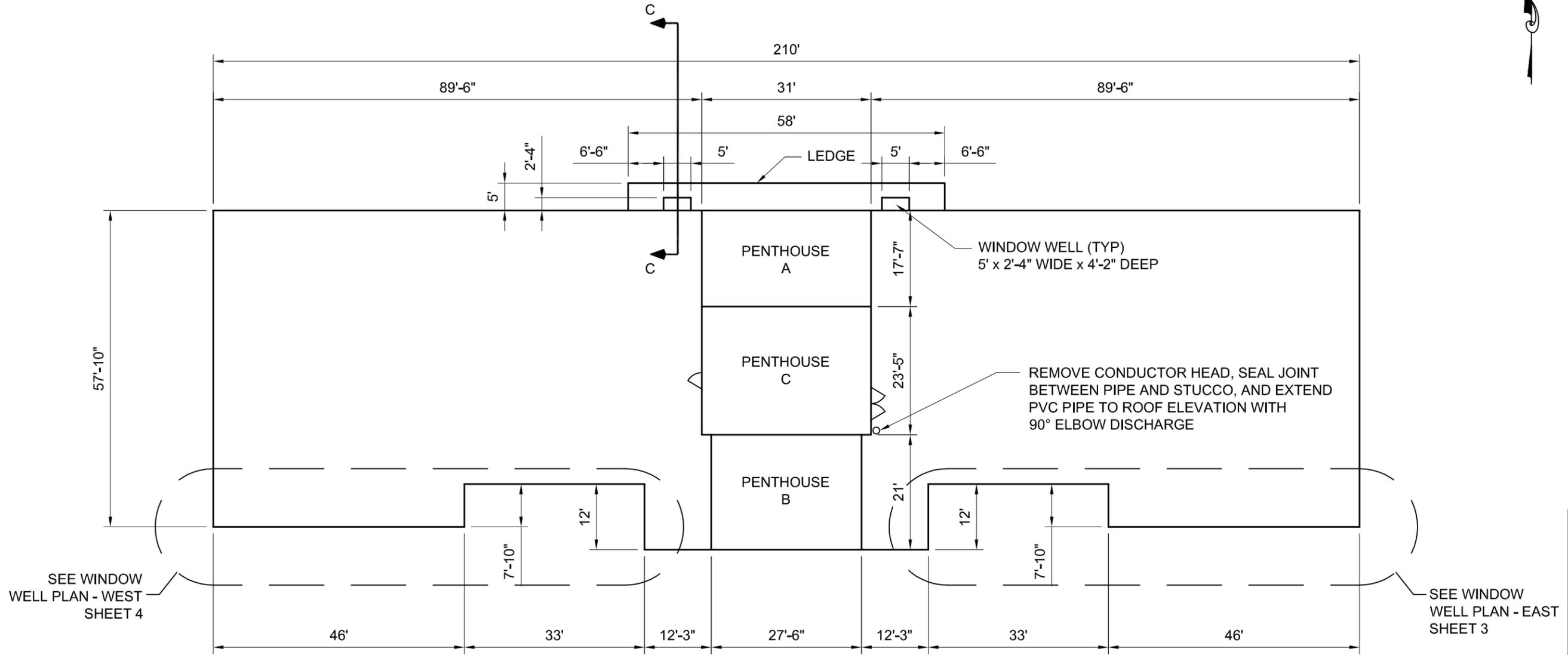
CHECKED BY: JW

DATE 01-25-14

JOB NO. 11-066

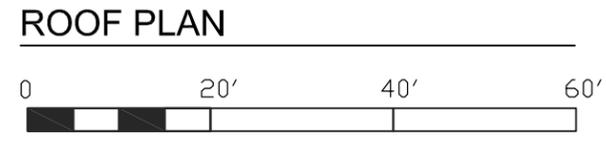
SCALE: NONE

SHEET 1 OF 10.



SEE WINDOW WELL PLAN - WEST SHEET 4

SEE WINDOW WELL PLAN - EAST SHEET 3

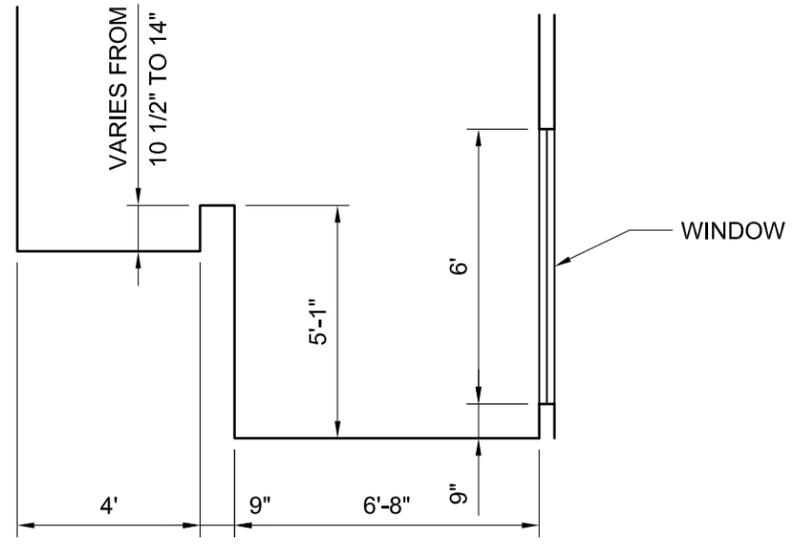
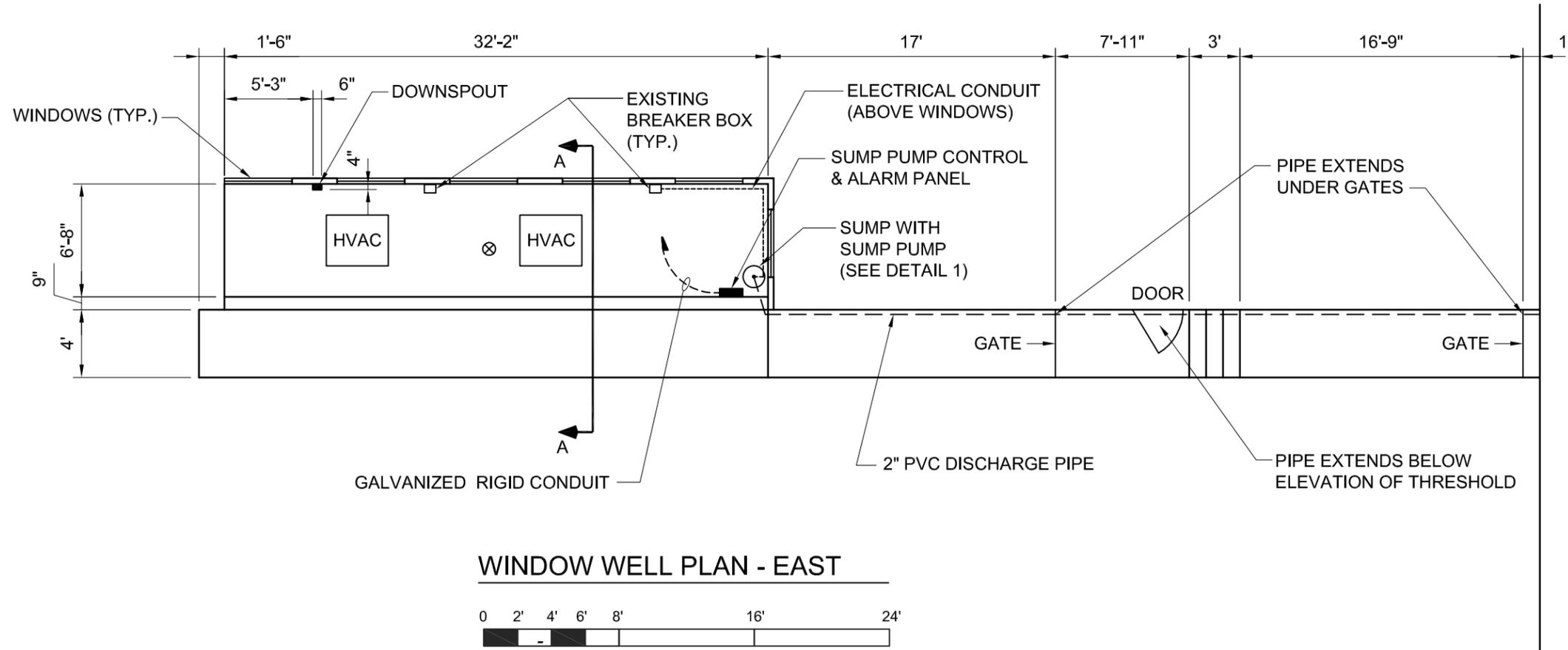


- NOTES:**
1. TUCKPOINT THE EAST AND WEST WALLS OF PENTHOUSES "A" AND "B".
  2. VERIFY ALL DIMENSIONS.



**Roof Plan**

JUSTICE BUILDING BUILDING ENVELOPE LEAK INVESTIGATION RALEIGH, NORTH CAROLINA CODE: 40601; ITEM: 4G03; ID# 060900001		DRAWN BY: ACS CHECKED BY: JW DATE: 01-25-14	JOB NO. 11-066 SCALE: 1"=20'-0" SHEET OF 2 10.
ROOFTOP SYSTEMS ENGINEERS, P.C. 316 W. MILLBROOK ROAD, SUITE 201 RALEIGH, NC 27609-4482 NC License No. C-0807 919-872-7866; 919-872-4486 fax www.rooftopsystemsengrs.com			



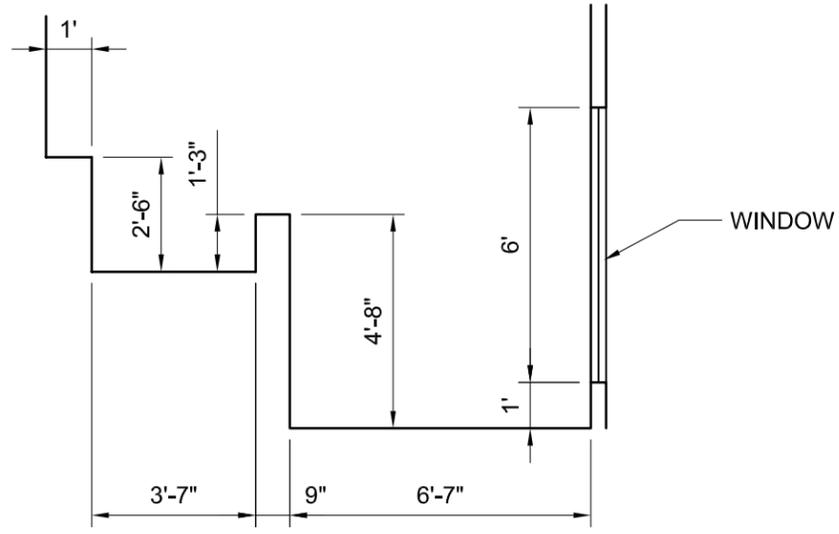
NOTES:  
1. VERIFY ALL DIMENSIONS.

Window Well Plan & Section

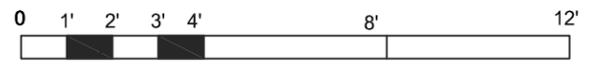
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RALEIGH, NORTH CAROLINA  
CODE: 40601; ITEM: 4G03; ID# 060900001

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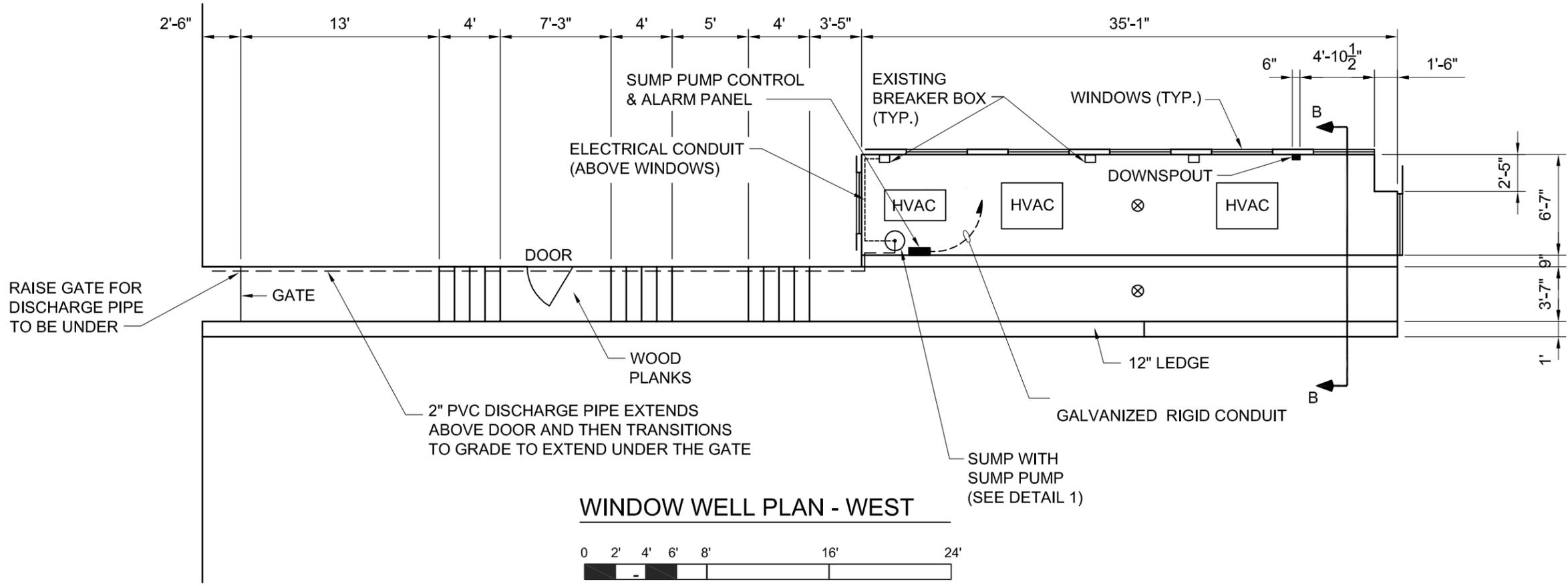
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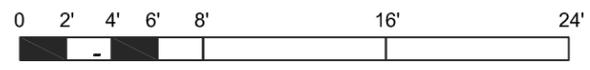
SECTION B-B THRU WINDOW WELL



NOTES:  
1. VERIFY ALL DIMENSIONS.



WINDOW WELL PLAN - WEST



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			10.

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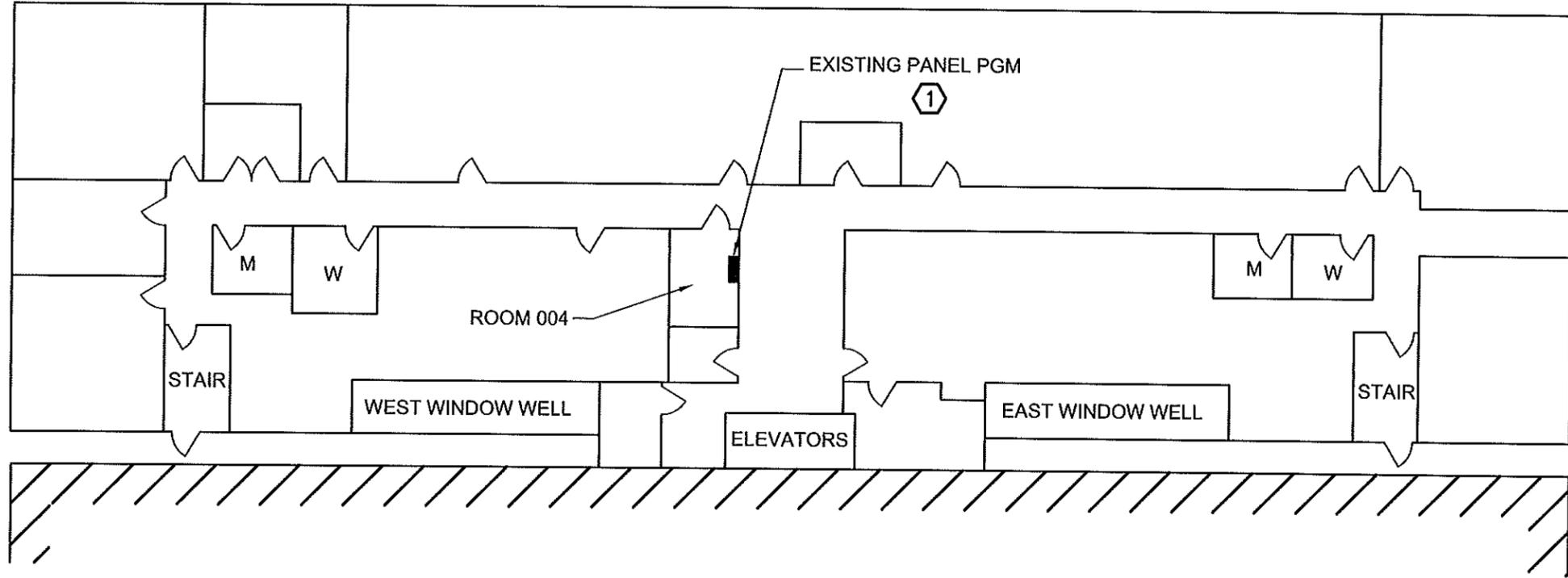
Window Well Plan & Section

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BUILDING ENVELOPE LEAK INVESTIGATION  
RALEIGH, NORTH CAROLINA  
CODE: 40601; ITEM: 4G03; ID# 060900001

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Raleigh, NC 27609  
NC License C-1719  
tel 919.832.8118  
fax 919.832.8120  
stanfordwhite.com

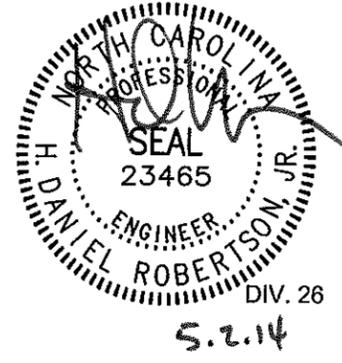


### BASEMENT ELECTRICAL FLOOR PLAN

N.T.S.

#### ELECTRICAL KEY NOTES:

- 1 EXISTING PANEL IS 208Y/120 VOLT, 400 AMP, WITH LOAD OF 278 AMPS. PROVIDE NEW BREAKERS FOR PUMP CONTROL PANELS. REVISE PANEL DIRECTORY TO REFLECT NEW LOADS.



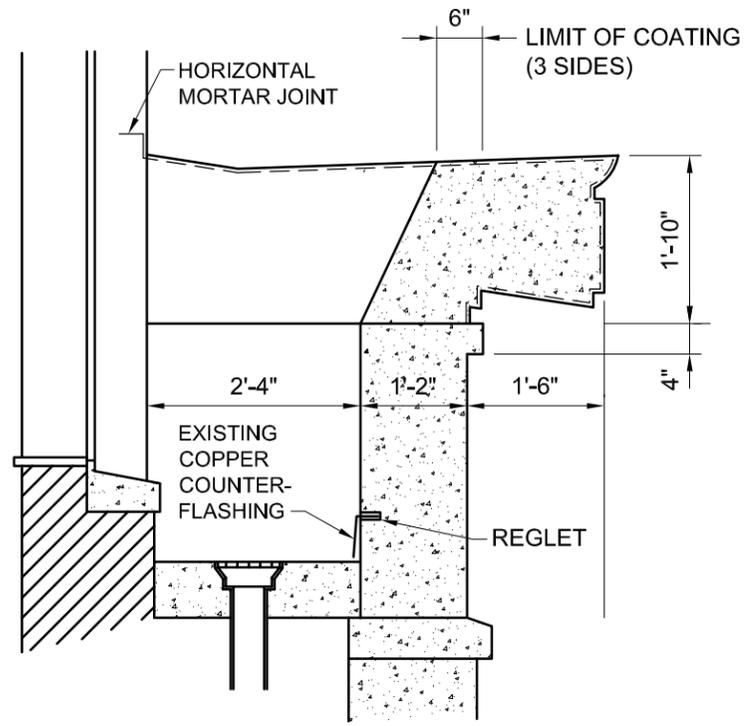
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#### Basement Floor Plan

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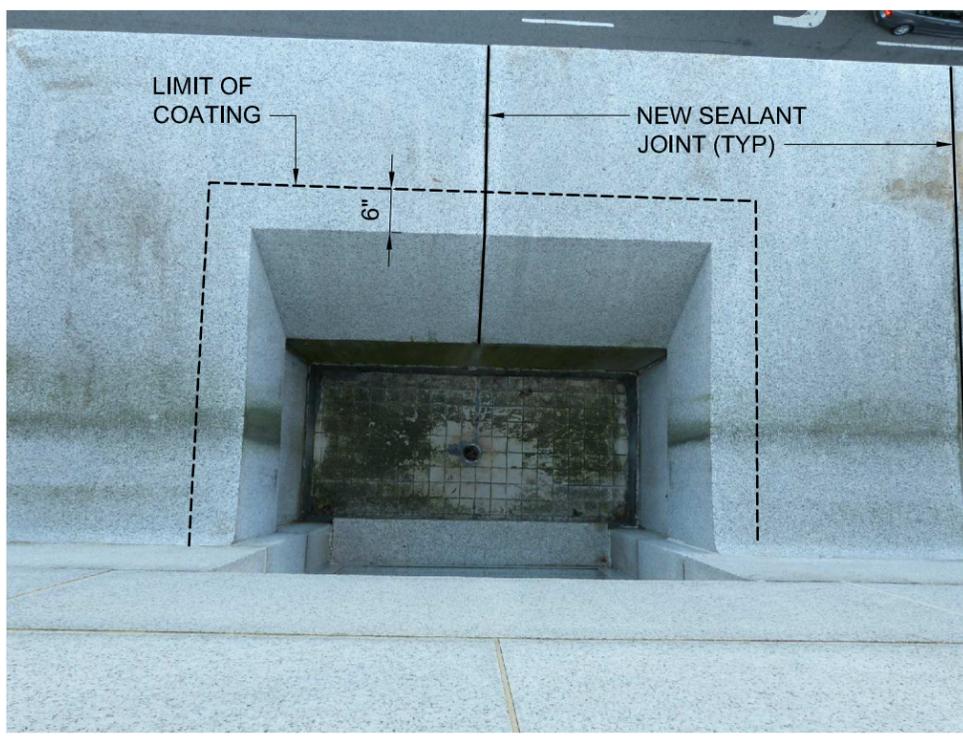
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SECTION C-C



5th FLOOR WINDOW WELL (TYP.)



LOOKING DOWN ON LEDGE AT 5th FLOOR WINDOW WELL (TYP.)



DRAIN AT BASE OF 5th FLOOR WINDOW WELL (TYP.)

Window Well Photographs and Section C-C

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VIEW OF WINDOW WELL.  
TUCKPOINT PRIOR TO APPLICATION  
OF WATERPROOFING



SHOWS FLASHING AT BASE  
OF WINDOW WELL  
(REMOVE COPPER FLASHING)



TUCKPOINT THE EAST WALLS OF PENTHOUSES  
"A" AND "B".



TUCKPOINT THE WEST WALLS OF PENTHOUSES  
"A" AND "B".

Window Well and Penthouse A Photos

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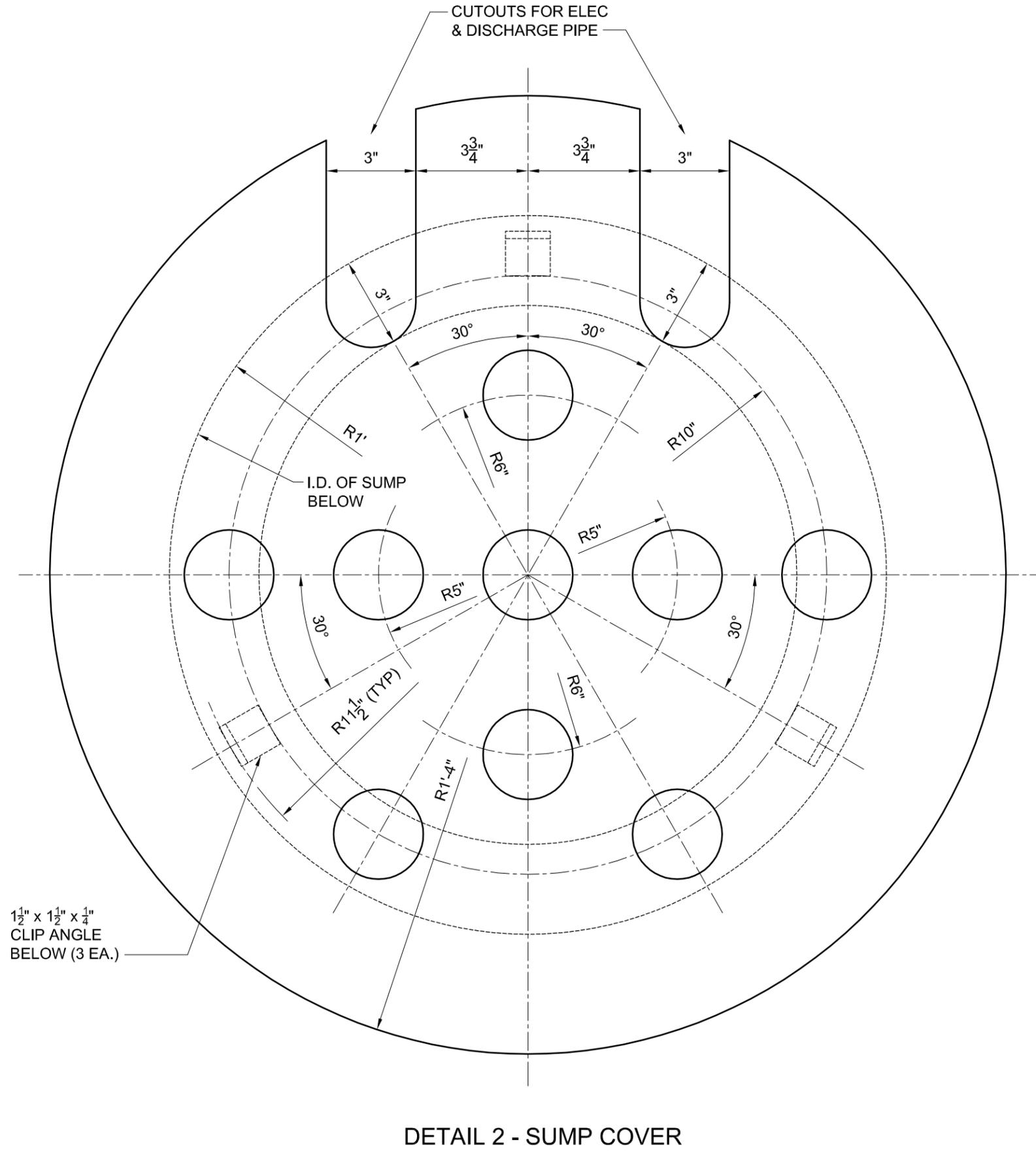
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JOB NO. 11-066

SCALE: NONE

SHEET 7 OF 10.





DETAIL 2 - SUMP COVER

1. 1/4" THICK ASTM 316 STAINLESS STEEL FOR SUMP COVER AND CLIP ANGLES.
2. WELD CLIP ANGLES TO BOTTOM OF SUMP COVER WITH 1/4" FILLET WELDS.
3. CUT HOLES AND SLOTS AS SHOWN.

Detail 2 - Sump Cover

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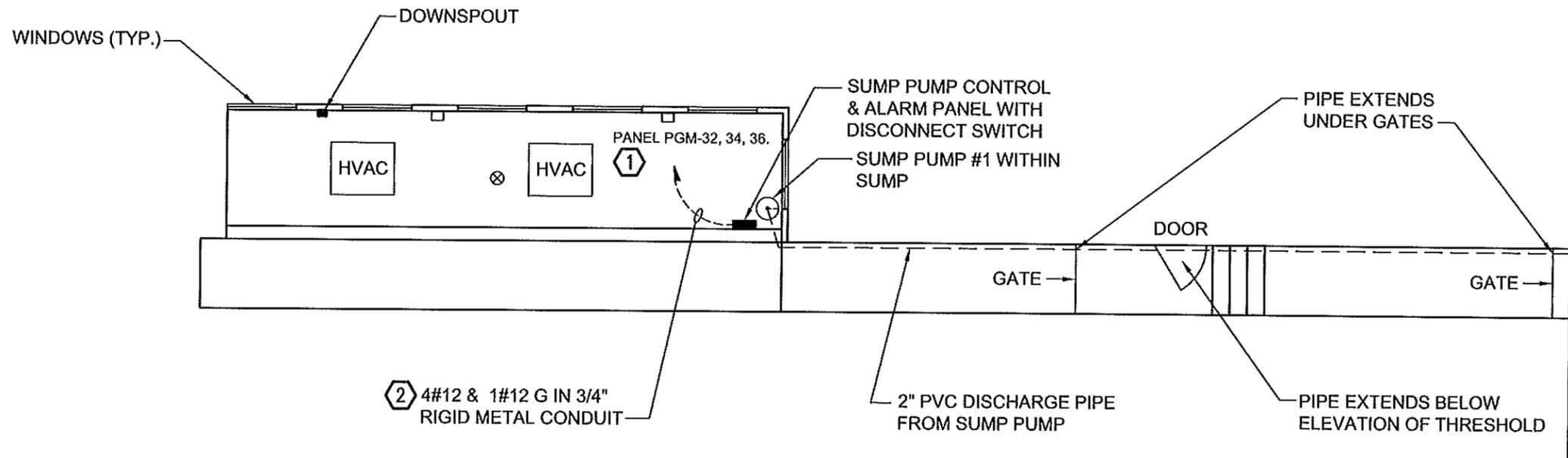
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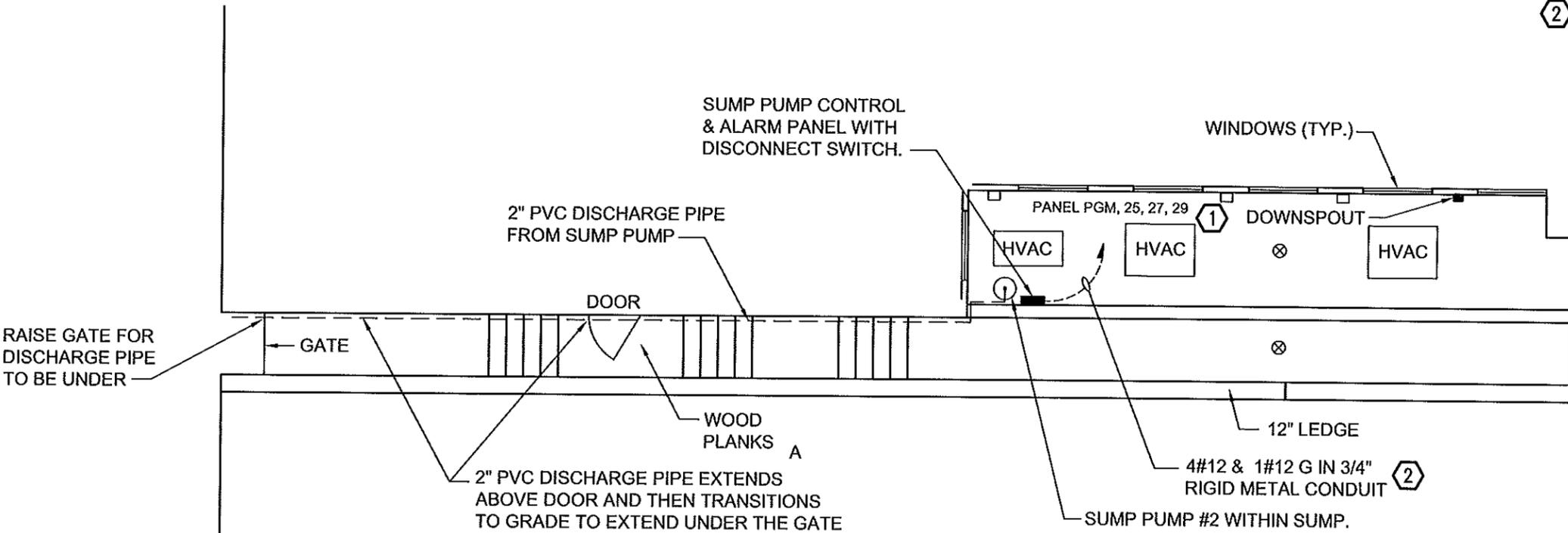
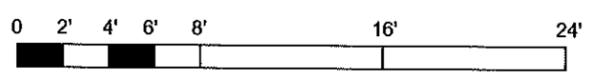
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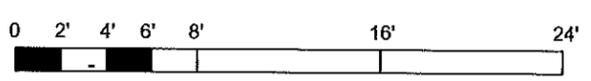
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WINDOW WELL PLAN - EAST



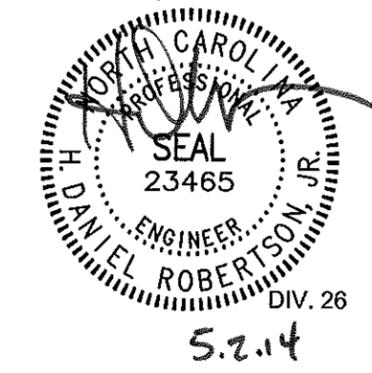
WINDOW WELL PLAN - WEST



SUMP PUMP #1 AND #2: 85 GPM, 35' HEAD, 3450 RPM, 1 HP, 208V - 3φ. LIBERTY PUMP MODEL FL100 OR EQUAL BY ZOELLER, WEIL OR HYDROMATIC.

- GENERAL NOTES:**
1. VERIFY ALL DIMENSIONS AND CONDITIONS.
  2. SEE ALSO SHEETS 3 AND 4.

- ELECTRICAL KEY NOTES:**
1. PROVIDE 3 POLE, 15AMP CIRCUIT BREAKER IN PANEL PGM LOCATED IN ROOM 004 FOR SUMP PUMP CONTROL AND ALARM PANEL.
  2. ROUTE RACEWAY TIGHT TO BUILDING AT ALL LOCATIONS. REFER TO SPECIFICATION FOR RACEWAY SELECTION AND ROUTING REQUIREMENTS.



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Window Well Plan & Section

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